



Highlands East Building Department 1032
Gooderham St.
Box 22 Gooderham, ON K0M 1R0
705-447-0051

APPLICATION GUIDELINES FOR A GARAGE, ACCESSORY BUILDING AND STRUCTURES

General provisions: An accessory structure may only be a single storey and cannot exceed 5.5 m in height from finished grade to peak. Any loft space can be used for storage however this area is included in the total square footage of the building. Human habitation of accessory structures is prohibited. Additional a zone specific provisions can be found under Sec 3.1 in our zoning by-law.

Application for Permit

To obtain a permit under Subsection 8(1) of the Act, the applicant shall file an application in writing by completing a prescribed provincial application form available from the Municipality of Highlands East website or the Highlands East Building Department at 1032 Gooderham St. Gooderham.

Additional Permits

The following permits, where applicable, are required to accompany an application for building permit:

- 1) Conservation Authority Approval: To be obtained from the Crowe Valley Conservation Authority.
- 2) Other permits as may be required i.e. ESA, MNR etc.

Required Plans

Drawings, plans and specifications to accompany an application to permit. **All drawings MUST be clear, legible, accurate, drawn to scale and conform to the Ontario Building Code.**

1) **Site Plan**

- Lot area and dimensioned property lines
- Direction north indicated
- Size and use of all existing and proposed structures including location of all structures with dimensions to property lines
- Location of septic system/well including measurements to existing and proposed structures
- Location of driveway and parking areas
- Location of easements, right-of-ways, overhead power lines, etc.

2) **Foundation Plan** (minimum scale: 3/16"=1'-0' or 1:75 (metric)

- Footings supporting walls, pilasters, columns and piers
- Foundation walls and supporting structure including construction types and material
- Building section and detail markers

3) **Floor Plans** (minimum scale: 3/16"=1'0" or 1:75 (metric)

- Exterior and interior walls including construction type and material
- Wall openings including size and supporting structure
- Roof framing above including all proprietary layouts, details and specifications
- Building section and detail markers

- 4) **Building Elevations** (minimum scale: 1/8"=1'-0" or 1:100 (metric))
 - All building profiles showing finishes, location of openings, etc.
 - Dimensioned floor to ceiling heights
 - Dimensioned building height from finished ground level to peak of roof
 - Roof pitch and finish
 - Area of exposed building face, percentage of unprotected openings and limiting distance where applicable.
- 5) **Sections and Details** (minimum scale: 1/4"=1'-0" or 1:50 (metric))
 - Building section including specifications for foundations, wall, floors, roof assemblies, etc.
 - Dimensioned floor to ceiling heights
- 6) **Engineered Elements**
 - Structural floor slabs exceeding 55m sq. (592 sq. ft.) shall bear the design engineer's seal and signature and shall accompany the application for permit
 - Truss drawings with layout shall accompany the application for permit.
 - Sealed and signed truss drawings with layout shall be submitted to the building department prior to booking framing inspection
 - Engineered floor systems including joists, beams and lintels shall include layouts and member calculations and shall accompany the application for permit.

General Notes:

- 1) The permit application shall include 2 full size complete sets of prepared fully dimensioned construction drawings. A non-refundable application fee of \$75.00 shall accompany the application for permit.
- 2) All drawings and specifications are to be project specific.
- 3) Refer to our zoning by-law, available on our web site (www.highlandseast.ca) for setback information, restrictions to location, size, height, etc. *(Also see general provisions a top of this document)*
- 4) All drawings are to be drawn to scale. The scale shall be noted on the drawings.
- 5) **DO NOT** include presentation graphics (furniture, vehicles, etc.) on construction drawings.
- 6) Where the proposed building is to be constructed within 1 metre of a required setback or survey monuments are not visible, verification of setback **MUST** be provided by an Ontario Land Surveyor prior to footing inspection.
- 7) Required inspections are noted on the Mandatory Inspection Report. Inspections will be conducted within 2 business days from receipt of notice. Inspections will only be conducted on the assigned days.
- 8) Any changes to the approved plans must be reviewed by the Building Department prior to commencement of construction. There may be a 100.00 fee for revisions.
- 9) With some exceptions accessory structures less than 10 m sq. may not require a building permit. It is the responsibility of the property owner to call the building department to confirm.

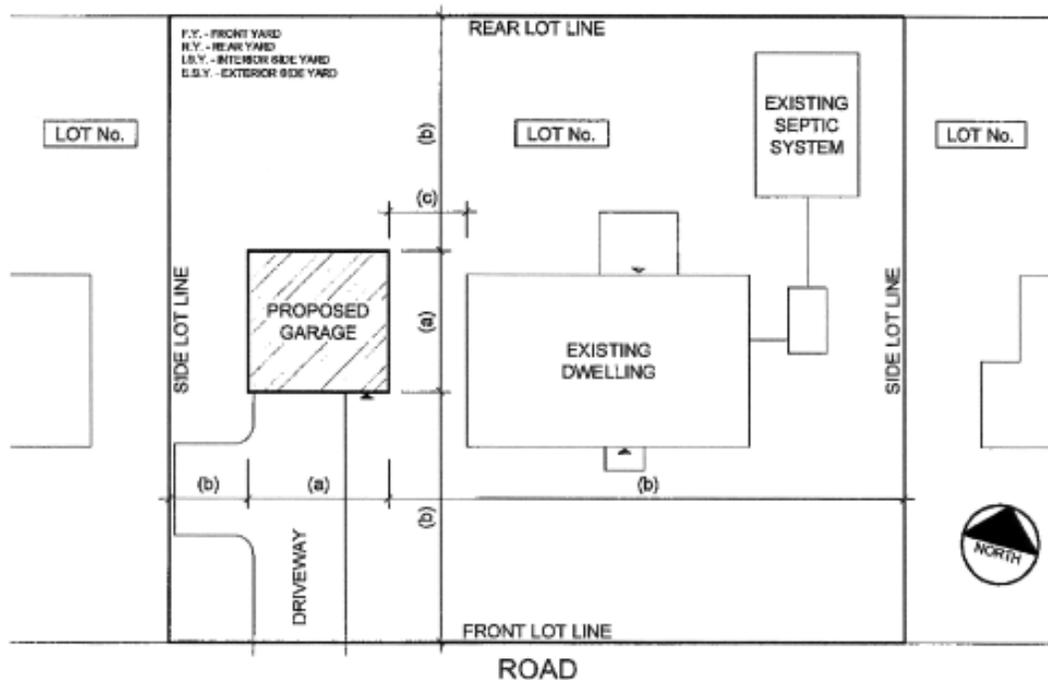
Sample Site Plan

NOTES:

- 1) SITE PLAN TO BE DRAWN TO SCALE.
 - 2) ALL DIMENSIONS, ETC. TO BE SHOWN IN METRIC.
 - 3) INCLUDE ALL LOT LINES AND DIMENSIONS.
 - 4) INDICATE ALL PROPOSED AND EXISTING BUILDINGS, DECKS, SEPTIC SYSTEM, ETC.
 - 5) SHOW SIZE AND USE OF ALL PROPOSED AND EXISTING BUILDINGS.
 - 6) SHOW SETBACKS TO PROPOSED AND EXISTING BUILDINGS, ETC.
 - 7) SHOW EASEMENTS, RIGHT-OF-WAYS, OVERHEAD POWER LINES, ETC.
- (a) LENGTH/WIDTH OF STRUCTURE
 (b) SETBACK TO PROPERTY LINE
 (c) CLEARANCE TO ADJACENT BUILDING
 (d) CLEARANCE TO SEPTIC SYSTEM

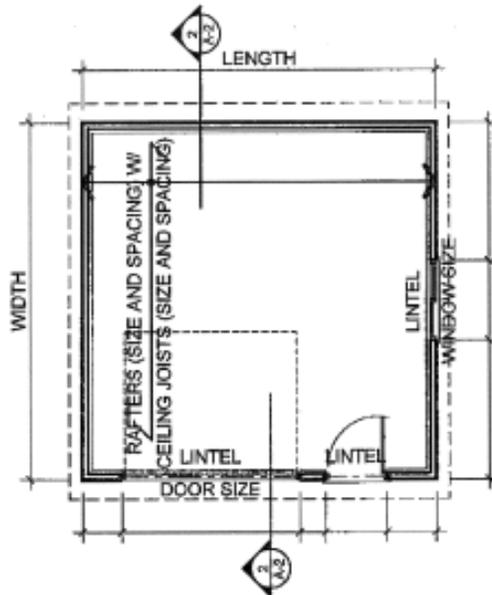
SITE INFORMATION

LOCATION:	MUNICIPAL ADDRESS	
LEGAL:	LOT No. PLAN No. CON. No. ETC.	
ZONING:	CURRENT ZONING OF PROPERTY	
	REQUIRED	PROVIDED
LOT AREA		
G.F.A. DWELLING ACCESSORY BLDG.		
LOT COVERAGE (%)		
SETBACKS		
F.Y. DWELLING ACCESSORY BLDG.		
R.Y. DWELLING ACCESSORY BLDG.		
I.S.Y. DWELLING ACCESSORY BLDG.		
E.S.Y. DWELLING ACCESSORY BLDG.		
No. OF STOREYS		
BLDG. HEIGHT		



NOTE: All measurements must be accurate

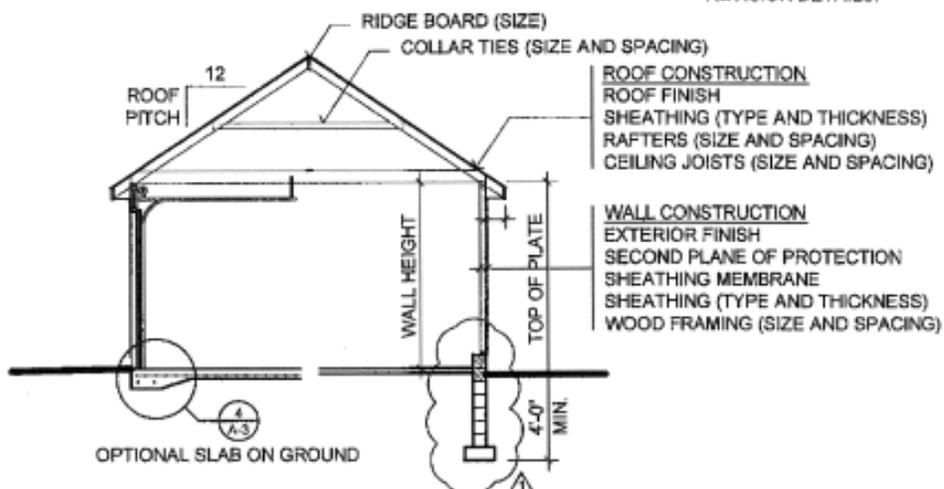
Sample Garage Drawing – Sections & Floor Plan



1 FLOOR PLAN
A-2 SCALE

NOTES:

- 1) ALL LUMBER SHALL BE GRADED AND STAMPED.
- 2) ALL SHEATHING SHALL BE EXTERIOR GRADE.
- 3) RAFTERS, JOISTS AND LINTELS ARE TO BE DESIGNED FOR 52 PSF SNOW LOAD.
- 4) ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.
- 5) CONCRETE SLAB STRENGTH SHALL BE MINIMUM 32 MPa @ 28 DAYS W/ 5-8% AIR ENTRAINMENT. SLAB SHALL BE SLOPED TO DRAIN TO EXTERIOR.
- 6) CONSTRUCTION NOTES TO INCLUDE ALL MATERIAL TYPES, SIZES ETC. OPTIONAL INSTALLATIONS AND GENERAL CODE REFERENCES WILL NOT BE ACCEPTED.
- 7) BUILDINGS NOT EXCEEDING 582 S.F. IN BUILDING AREA, NOT MORE THAN 1 STOREY IN BUILDING HEIGHT AND ARE NOT OF MASONRY OR MASONRY VENEER CONSTRUCTION MAY BE CONSTRUCTED ON A SLAB ON GROUND.
- 8) INDICATE CHANGES TO DRAWINGS WITH REVISION CLOUDS AND PROVIDE REVISION DETAILS.



2 BUILDING SECTION
A-2 SCALE

Sample Garage Drawings – Elevations and Foundation

